

Residential Building Consent

Application and Processing Checklist

This checklist is designed to assist the applicant with the documentation and level of design information that **must** be provided with a Building Consent application. The checklist will help ensure that drawings, specifications and other relevant design documents are complete, accurate and demonstrate compliance with the New Zealand Building Code.

Documentation must cover all items identified in bold text in this lodgement checklist. If any of this information is not provided, the building consent application will be rejected. It is also strongly recommended that the items in italic text are also provided.

The reference (*in italics*) provided relate to the subject of the item to be checked and may or may not be the specific means of compliance for your project. These references are to paragraphs in the Acceptable Solutions unless specified otherwise.

Standard of documentation

Section 7 of the Building Act defines 'plans and specifications' as the drawings, specifications and other documents according to which a building is to be constructed, altered, demolished or removed. Documentation is required to be of a high, professional standard. For further information please refer to the MBIE guidance document:

<https://www.building.govt.nz/projects-and-consents/apply-for-building-consent/>.

Drawings must be:

- produced to scale on A3, A2 or A1 white paper; minimum font size 10 and for CAD 2.5

Each drawing must contain:

- site address and legal description (Lot and DP number)
- a drawing number and title
- designer's name
- owner's name
- be dated for version control.
- specifications must be project specific and include relevant supporting documentation (installation details).
- position of services; vehicle crossings, parking areas, water, sewer and stormwater.

Restricted building work (RBW): RBW relates to residential construction and design for certain houses and small to medium apartment buildings. It can be new construction or alterations to an existing building. RBW is defined as building or design work that is critical to the integrity of a building and ensures the building is structurally sound and weathertight.

RBW includes:

- the primary structure** (construction or alteration) – all the structural elements of the building that contribute to resisting vertical and horizontal loads
- external moisture management systems** (construction or alteration) – the building elements and systems which prevent the ingress of external moisture and help control moisture within the building fabric
- fire safety systems** (design) – the building elements intended to protect people and property from fire.

Licensed building practitioners (LBPs) are the only people allowed to supervise or carry out RBW. For further information about licensing or restricted building work refer to the Ministry of Building Innovation and Employment website – <https://www.building.govt.nz/projects-and-consents/planning-a-successful-build/scope-and-design/choosing-the-right-people-for-your-type-of-building-work/use-licensed-people-for-restricted-building-work/restricted-building-work>

Applications supported by a producer statement (PS): If an application is supported by a producer statement, the architectural plans must be signed and dated by the Engineer or structural drawings must be provided or a schedule listing the work covered in the producer statement must be provided. Producer statements must be dated no older than 90 days, within the scope of the author and the author must be on the Producer Statement. For more information on Producer Statements refer to the Ministry of Building Innovation and Employment website - <https://www.building.govt.nz/projects-and-consents/apply-for-building-consent/support-your-consent-application/producer-statements>

Deposit: A Request for Further Information (RFI) will be issued at the vetting stage of application processing with instructions on how to make payment. The final invoice will include the full cost of processing the application as well as fees for inspections, levies and the code compliance certificate, less the deposit already paid. For building fees and charges refer to the Buller District Council website - <https://bullerdc.govt.nz/your-council/fees-and-charges/>

Application details

Property address:

Checklist items

Vehicle crossing

Entire section N/A

All building consent applicants should advise whether the property has an existing vehicle crossing that will be used to serve the new building or development. If you do not have an existing crossing OR are building within 1.0m of the road corridor OR a new building on a vacant lot, then a new vehicle crossing application must be submitted to BDC by a Council Approved Contractor for the construction or upgrading of a vehicle crossing. A Vehicle Crossing Application Form, and description of the approval process, can be viewed and downloaded from Council website by typing "vehicle crossing" in the search bar and selecting the "Application to install" link. The online or paper format completed application form must be completed or emailed to Council by an approved contractor as per website instructions. *Please note that a Work Access Permit and Corridor Access Request are required for any work in Council's Road Reserves and Council must approve vehicle crossing once constructed.*

Customer use		
Yes	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	New vehicle crossing
<input type="checkbox"/>	<input type="checkbox"/>	Building within 1.0m of road corridor
<input type="checkbox"/>	<input type="checkbox"/>	Existing vehicle crossing

Water and/or sewer connections

Entire section N/A

All building consent applicants should advise whether the property has an existing water and/or sewer connection that will be used to serve the new building or development. If you do not have an existing water and/or sewer connection OR it has been determined that the existing water and/or sewer connection is in a very poor condition then a new water and/or sewer connection application must be submitted to BDC by a Council Approved Contractor for the installation of the connection(s). A New Connection Application Form, and description of the approval process, can be viewed and downloaded from Council website by typing "new connection" in the search bar and selecting the "Application to install" link. The online or paper format completed application form, must be completed or emailed to Council by an approved contractor as per website instructions. *Please note that a Work Access Permit and Corridor Access Request are required for any work in Council's road reserves and Council must approve new connections once installed.*

Customer use		
Yes	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	New water connection
<input type="checkbox"/>	<input type="checkbox"/>	New sewer connection
<input type="checkbox"/>	<input type="checkbox"/>	Existing water connection
<input type="checkbox"/>	<input type="checkbox"/>	Existing sewer connection

General items

Entire section N/A

Customer use		Description	Council use only		
Yes	N/A		Yes	No	N/A
<input type="checkbox"/>	<input type="checkbox"/>	Application form (Form 2) completed in full and signed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Project specifications to be complete, site specific and include relevant supporting documentation (installation details)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Full Record of Title (no older than 90 days) including all consent notices and encumbrances, sale and purchase agreement or lease agreement	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Letter of authorisation from owner if application is submitted by an agent, company, trust or person other than the owner	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Memorandum / Certificate of design work (CoW)

Entire section N/A

Customer use		Description	Council use only		
Yes	N/A		Yes	No	N/A
<input type="checkbox"/>	<input type="checkbox"/>	Memorandum of design for restricted building work is completed in full and personally signed by the designer, a licensed building practitioner	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Memorandum of design for restricted building work is completed in full and personally signed by the engineer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Owner Builder declaration (Form 2B) provided if no design memorandum submitted for restricted building work	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Amendments

Entire section N/A

Customer use		Description	Council use only		
Yes	N/A		Yes	No	N/A
<input type="checkbox"/>	<input type="checkbox"/>	Description of building work accurately summarises the changes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Plans clouded to show changes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Site plan (scale 1:100 for urban and 1:200 for rural)

Entire section N/A

Customer use		Description	Council use only		
Yes	N/A		Yes	No	N/A
<input type="checkbox"/>	<input type="checkbox"/>	Legal description including Lot, DP and street address, north point, land contours or spot levels with datum indicated; siting dimensions and details of all existing and proposed buildings (from boundaries and other buildings including notional boundaries if appropriate) and common areas	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<i>Specified vertical datum – NZVD2016 on the site plan</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<i>All existing and proposed sanitary and storm water drainage (including on-site treatment systems) indicated with distances to boundaries</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<i>Location of HWC and / or gas bottles (if external)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<i>All areas and volumes of proposed distributed earth indicated, e.g. excavation, fill, retaining</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Foundation plan (scale 1:100 or 1:50)

Entire section N/A

Customer use		Description	Council use only		
Yes	N/A		Yes	No	N/A
<input type="checkbox"/>	<input type="checkbox"/>	Slab construction detailed and dimensions, i.e. concrete, steel reinforcing, slab thickening and control joints. If SED (e.g. rib raft) engineers design provided	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Cross section of footing details shown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Subfloor framing details for all subfloors and deck framing, i.e. pile type, treatment, size, embedment depth and layout, bearers, jack studs, braces, fixings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Joist layout plan for all floors on all levels and decks	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Bracing plan

Entire section N/A

Customer use		Description	Council use only		
Yes	N/A		Yes	No	N/A
<input type="checkbox"/>	<input type="checkbox"/>	Bracing calculations, specifications and layout (roof, wall, subfloor and deck)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Elevations (scale 1:100 or 1:50)Entire section N/A

Customer use		Description	Council use only		
Yes	N/A		Yes	No	N/A
<input type="checkbox"/>	<input type="checkbox"/>	Elevations for each external wall	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Existing and finished ground levels / floor levels indicated	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Total height of building – To Apex	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Daylight / Recession planes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	External stairs, handrails and decking shown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Subfloor ventilation indicated	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Cross-sections (scale 1:100 or 1:50)Entire section N/A

Customer use		Description	Council use only		
Yes	N/A		Yes	No	N/A
<input type="checkbox"/>	<input type="checkbox"/>	A minimum of two cross-sections through the length and width of the building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Retaining wall details and height of wall (cut, fill, height of retained ground, waterproof membranes and drainage barrier)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Foundation details, terraces, steps, balustrades proximity to services indicated	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Floor, wall and roof construction shown (size, height, timber treatment, grading, insulation, lining and cladding)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Finished ground levels and floor levels	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Roof plan and roof framing plan (scale 1:100 or 1:50)Entire section N/A

Customer use		Description	Council use only		
Yes	N/A		Yes	No	N/A
<input type="checkbox"/>	<input type="checkbox"/>	M/F producer statement for computer software, fabricator design statement and truss layout plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Roof drainage plan (location details and size of rainwater heads, scuppers, internal gutters, valleys, spouting and downpipes)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Plumbing and drainage plan (scale 1:100 or 1:50)Entire section N/A

Customer use		Description	Council use only		
Yes	N/A		Yes	No	N/A
<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed fixtures and fittings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Details of storm water / sewer disposal systems, e.g. detention tanks, pumps and effluent disposal including location, size, volume and depth of excavations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	On-site wastewater disposal design	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Soakage report provided and details shown on plans	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Locate wastes, pipes and outlets including sizes and gradients, shown in relation to mid-floor framing or slab construction. Schematic for more than one level.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Building envelope (scale 1:100 or 1:50)Entire section N/A

Customer use		Description	Council use only		
Yes	N/A		Yes	No	N/A
<input type="checkbox"/>	<input type="checkbox"/>	E2/AS1 risk matrix for each elevation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Cross sections / details of all roof and wall junctions (eaves, balustraded, parapet, apron, penetrations, control joints and sill / head / jamb flashings, etc.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

<input type="checkbox"/>	<input type="checkbox"/>	Current manufacturer's technical specification / installation instructions and maintenance requirements for all cladding systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Specific engineered design (SED)

Entire section N/A

Customer use		Description	Council use only		
Yes	N/A		Yes	No	N/A
<input type="checkbox"/>	<input type="checkbox"/>	Engineering calculations and drawings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Producer statement(s) completed in full and signed by author	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Plans signed and dated by engineer or structural drawings provided or schedule listing work covered if supported by producer statement	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Producer statement cover sheet for structural glass balustrade systems (AC2343)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Swimming pool, spa pool and pool fencing

Entire section N/A

Customer use		Description		Council use only		
Yes	N/A	Swimming pool	Small heated pool	Yes	No	N/A
<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Pool specifications, i.e. type, brand, installation, etc.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Engineering calculations and producer statements provided for structural design elements (refer to SED section)		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Site plan with location of proposed pool and pool fencing including any gates; gates to show opening direction (refer also to site plan section) and any changes in ground levels		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Immediate pool area specified, i.e. pool isolated		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Manufacturer's specification for fencing		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Producer statement cover sheet for pool fencing / barrier (AC2344)		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Plans to show details of fencing, i.e. materials, height, gate mechanisms (closing and latching devices) and latch heights specified		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Photos related to all intersection points of the barrier with the dwelling and all other structures to assess adjacent climb points with the drawings Note: Photos should be clear, in colour, and show the various elements in detail including from farther away to allow them to be viewed in overall context		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	If building is used as part of fencing: <ul style="list-style-type: none"> Floor plan-indicating location and opening direction of all doors opening into pool area including a description of the use of the rooms that the doors open into, e.g., living room, dining room, bedroom etc. Doors by type and overall width - where the doors are bigger than F9/AS1 permits you must supply fully justified alternative solution evidence to support this as a proposal. This may include justification in some cases of the effects on occupants having their door/s closed all of the time when not being used to access the IPA, and why the barrier is unlikely to be deliberately disabled by them. Construction details and type of self-closing / latching devices for all doors opening into pool area Elevations including any windows opening into pool area and details of locking mechanisms, i.e. restrictors Existing or proposed barrier heights to the pool area for balconies or decks immediately adjacent but not part of the pool area 		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	If boundary fencing is used as part of pool fencing:		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

	<ul style="list-style-type: none"> • Photos showing all intersecting fences. Note – no climbable intersecting fences, rails, etc. permitted • Photos showing the full length of the fence with measurement to current ground and finished levels adjacent to the barrier confirmed. Note – nothing should be able to be used to climb down onto in the upper 900 mm of the boundary fence. • Cross-section showing details of fencing (height, openings, materials, etc.), show heights to the finished surface to any adjacent structure, proposed planting next to the barrier by species (if possible) and heights. These cannot grow into the upper 900 mm of the barrier if they can support a child's weight and could be climbed upon. <p>NB: On sloping sections with sloping boundary fences, the finished distance of 1800 mm to the adjacent finished surface levels next to the boundary fence must be allowed for in the design, or alternative solutions applied for with the appropriate evidence to support them.</p>			
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Solid fuel heater appliance

Entire section N/A

Customer use		Description	Council use only		
Yes	N/A		Yes	No	N/A
<input type="checkbox"/>	<input type="checkbox"/>	Location of solid fuel heating appliance and smoke alarms shown on floor plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<i>Location of all windows and doors in close proximity to appliance shown</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Location of hot water cylinder (if wetback)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Cross section through building to show penetrations through floor joists (required where building is 2 or more stories)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Cross section through roof showing roof material and flashing details, floor construction (i.e. timber / concrete floor) and type of restraint (i.e. method of fixing appliance to hearth and hearth floor)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<i>Cross section through chimney where false chimney surround constructed</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Elevation or photo of external wall where appliance is being installed to show location and height of flue (dimensions to be included and clearances from upper storey windows where flue penetrates a lower storey)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<i>Wetback details – details of valves and water supply pipes including type / capacity of HWC (HWC must be open vented low pressure system if wetback installed)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Manufacturer's specifications (make and model, installation instructions, clearances, flue details, flashing details, hearth insulating method, etc.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	National Environmental Standard – details of emission and thermal efficiency ratings for model installed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Authorisation number: ECAN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Second hand appliance – third party report on condition of appliance	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<i>Heritage buildings – approval required from NZ Historic Places Trust / Planning Team</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Water heaters (solar or heat pump)

Entire section N/A

Customer use		Description	Council use only		
Yes	N/A		Yes	No	N/A
<input type="checkbox"/>	<input type="checkbox"/>	Location and capacity of hot water cylinder (temperature or pressure relief valve discharge point provided)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<i>Details of supporting structural components in the roof space</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<i>Connection and weatherproofing details including flashing details</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	At least two elevations and roof plan provided to show compliance with height to boundary restrictions and position / inclination of solar panels	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

<input type="checkbox"/>	<input type="checkbox"/>	Location of solar panels in relation to rafters / trusses	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Span and centres of rafters / trusses and under purlins if applicable	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Specifications and technical data sheets provided	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Engineering calculations / producer statement provided for structural design elements (refer to SED section)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Product certification / appraisal certificates	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Demolition, removal and relocation (if included as part of the building project) Entire section N/A

Customer use		Description	Council use only		
Yes	N/A		Yes	No	N/A
<input type="checkbox"/>	<input type="checkbox"/>	Services capped and sealed inside boundary	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	All existing buildings and buildings to be demolished / relocated shown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Safety plan / report for safe handling and disposal of hazardous materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Pollution prevention plan covering control of noise and dust	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<i>Means of compliance with NZBC Clause F5, e.g. barricading the site to prevent public access</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Third party report for second-hand relocatable building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Other documentation (specification, reports, calculations) Entire section N/A

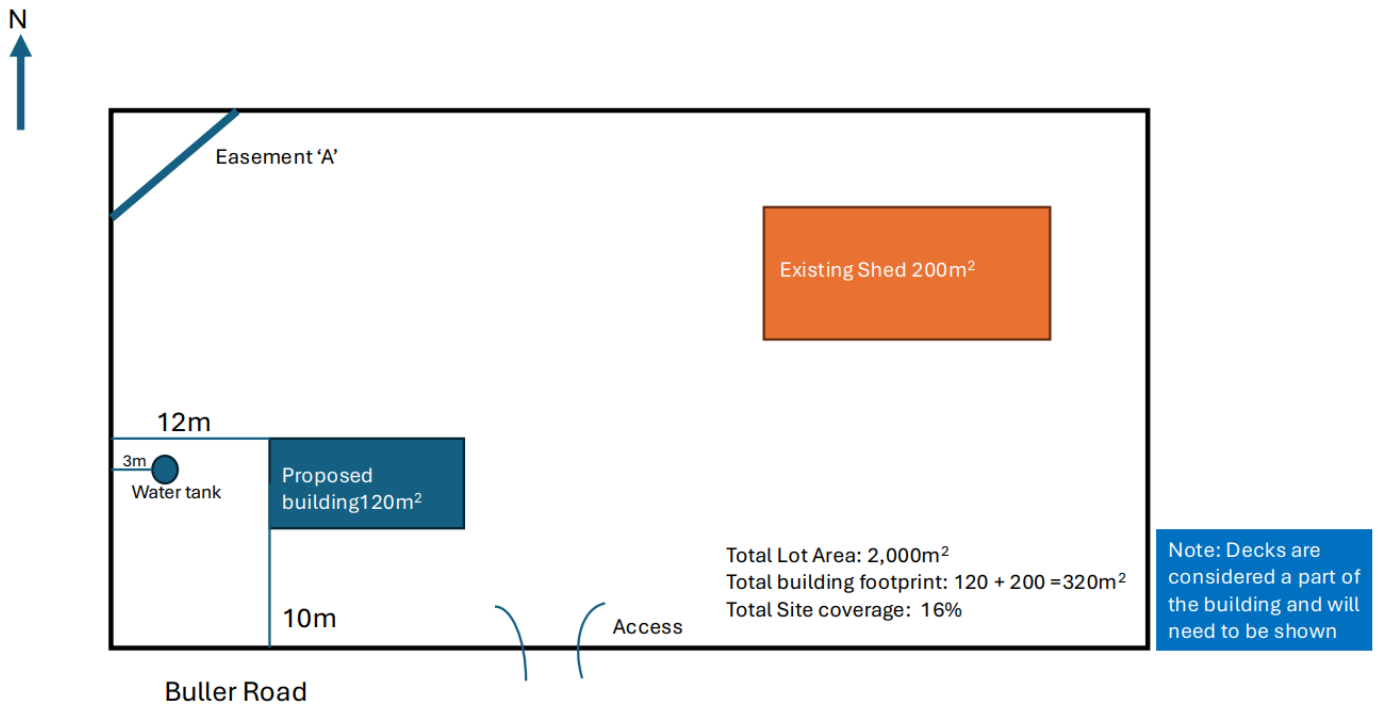
Customer use		Description	Council use only		
Yes	N/A		Yes	No	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<i>Waterproofing details and floor / wall linings and finishes specified for wet areas, i.e. bathroom and laundry</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Soil and ground stability – geotechnical report / plans	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<i>Site contamination – report / plans</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<i>Flooding and surface water – report / plans</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Erosion and sediment control plan – report / plans	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Energy efficiency (H1) report and calculations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<i>Acoustic design report</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Fire design report / construction details if building within 1m of boundary, >3 stories, or household units (vertically or horizontally)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Agreement to provide producer statement construction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Support document for any waiver or modification (if proposed)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Supporting documents and evidence for Alternative Solution (if proposed)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Product technical literature, e.g. BRANZ appraisal, CodeMark, etc.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Planning information

Entire section N/A

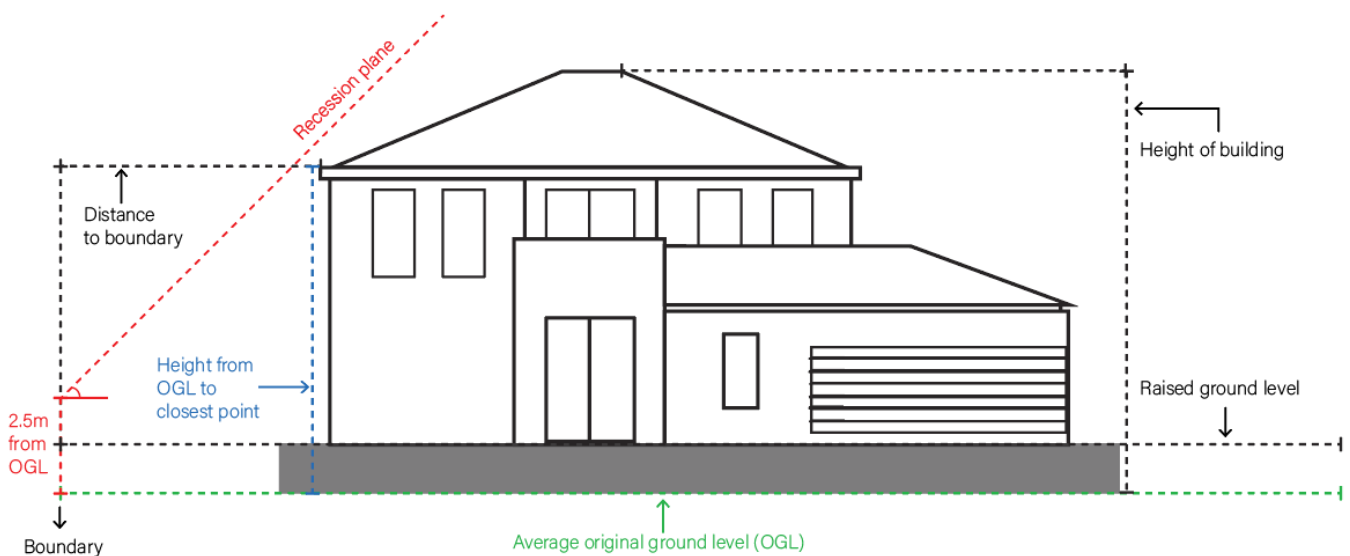
Customer use		Description	Council use only		
Yes	N/A		Yes	No	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<i>Distance to site boundaries of proposed buildings</i> The building footprint/location in relation to the site	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Site coverage, including any existing buildings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Ground and floor areas for each level of each building, including any decks	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Elevations depicting recession / daylight planes and height compliance, clearly indicated from average original ground level	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Legal and notional boundaries, including any easements	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Location of vehicle access / crossing locations / manoeuvring / parking spaces	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Electricity lines (above or underground)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<i>Area of native vegetation clearance related to the proposal (If any)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<i>Any waterbodies on site</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<i>Hard stand areas with drainage details if required</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<i>Distance from Mean High Water Springs if your proposal is in close proximity to the coastline or river mouth within the Rural Zone or Paparoa Character Area</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<i>Information required regarding consent notices/covenants/easements - If there are consent notices on the title, please provide comments as to how compliance with each clause of the consent notice or other interest. These can either be shown on the site plans or included as a separate document. Examples - Firefighting requirements, Colour notation, Stormwater and wastewater requirements, Restriction on the number of dwellings, Transpower Covenants</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<i>Copy of approved resource consent and conditions with stamped plans</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Site plan example



It is important to note that if there is a Council water or sewer network in the area, you will be required to connect into the network. This work must be undertaken by a Council Approved Contractor who will apply to Council for approval to install the service.

Elevation example plan



Recession plane calculated from the closest point to the boundary from the average original ground level

Record of Title example



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**



R. W. Muir
Registrar-General
of Land

Identifier [REDACTED]
Land Registration District **Nelson**
Date Issued 17 October 2013

Prior References

Estate Fee Simple
Area 1.8223 hectares more or less
Legal Description Lot 1 Deposited Plan [REDACTED]
Registered Owners [REDACTED]

Interests

Excepting and reserving to Her Majesty the Queen the right to any mineral, mineral oil, gas metal coal or valuable stone under the surface of the part of the within land formerly part Section 204 on SO 6051

Appurtenant to part formerly Lot 1 DP [REDACTED] is a right of way specified in Easement Certificate [REDACTED] 29.6.1994 at 11:10 am

The easements specified in Easement Certificate **65432.1** are subject to Section 243 (a) Resource Management Act 1991
Appurtenant to part formerly Section [REDACTED] is a right of way created by Transfer **12345.6** - 29.6.1994 at 11:10 am

The easement granted by Transfer **65432.1** is subject to Section 243 (a) Resource Management Act 1991

12345.6 Surrender of the right of way marked A on DP [REDACTED] specified in Easement Certificate **65432.1** - 9.2.2022 at 10:08 am

12345.6 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 17.10.2013 at 1:07 pm

12345.6 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 17.10.2013 at 1:07 pm

This title has an easement certificate numbered 65432.1 and a Consent Notice number 12345.6. In this instance a title with diagram, along with any easement instrument and consent notice is required to be provided.

If this isn't provided with the Building Consent Application, Buller District Council will obtain these from Land Information NZ with the cost on charged to the applicant.

Commentary regarding compliance with the consent notice and inclusion of the easement area (if applicable) in the site plan is required to be provided.